

S4.55 MODIFICATION - FEBRUARY 2025

DEMOLITION & NEW DWELLING

9 WILKINS ST, YAGOONA NSW 2199
CLIENT: CHARLIE YOUNAN

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BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1407315S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 11 August 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



5.9

NATIONWIDE HOUSE

51.5

www.nathans.gov.au

SA7NACDZL9 20 Feb 2025

Assessor Dimitrios Harakidas

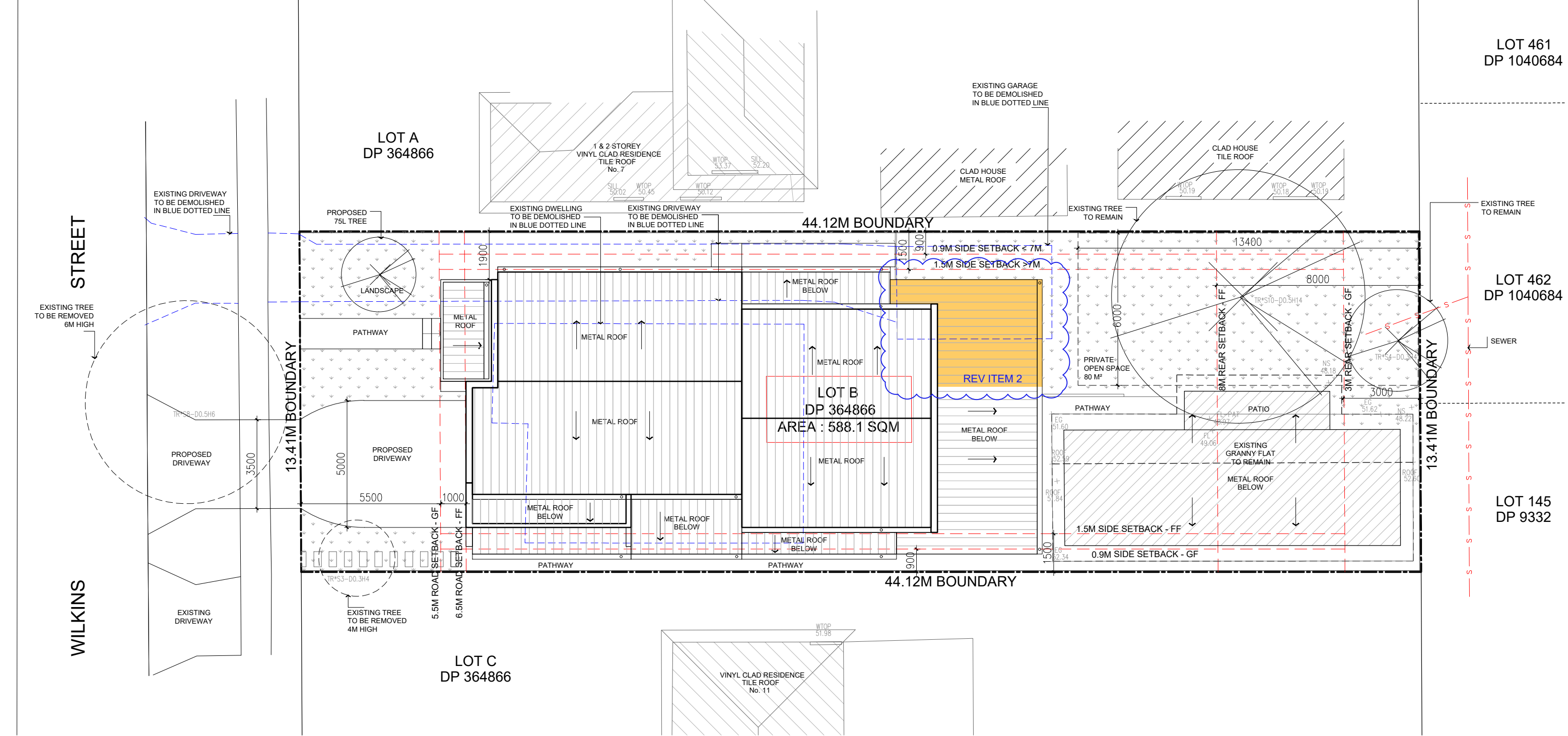
Accreditation No. HERA10042

Address 9 Wilkins Street Yagoona NSW 2199

<https://www.nsw.gov.au/QRCodeLanding?PublicId=SA7NACDZL9>

Project summary		
Project name	9 Wilkins Street, Yagoona	
Street address	9 Wilkins Street Yagoona 2199	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 364866	
Lot no.	8	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✔ 43	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 51	Target 50

Certificate Prepared by	
Name / Company Name: AENEC - Office: 02 9994 8906	
ABN (if applicable): 3281256377	



01 SITE PLAN
1:150 @A3

SITE AREA: 588.1 SQM
GFA: 0.5:1 = 294 SQM
294 - 60 (GRANNY FLAT) =
234 SQM (MAX. MAIN DWELLING)

GROUND FLOOR
146.20 SQM

FIRST FLOOR
105.65 SQM

TOTAL GROSS FLOOR AREA (MAIN DWELLING)
GF + FF - GARAGE =
146.20 + 105.65 - 18 =
233.85 SQM (234SQM MAX)

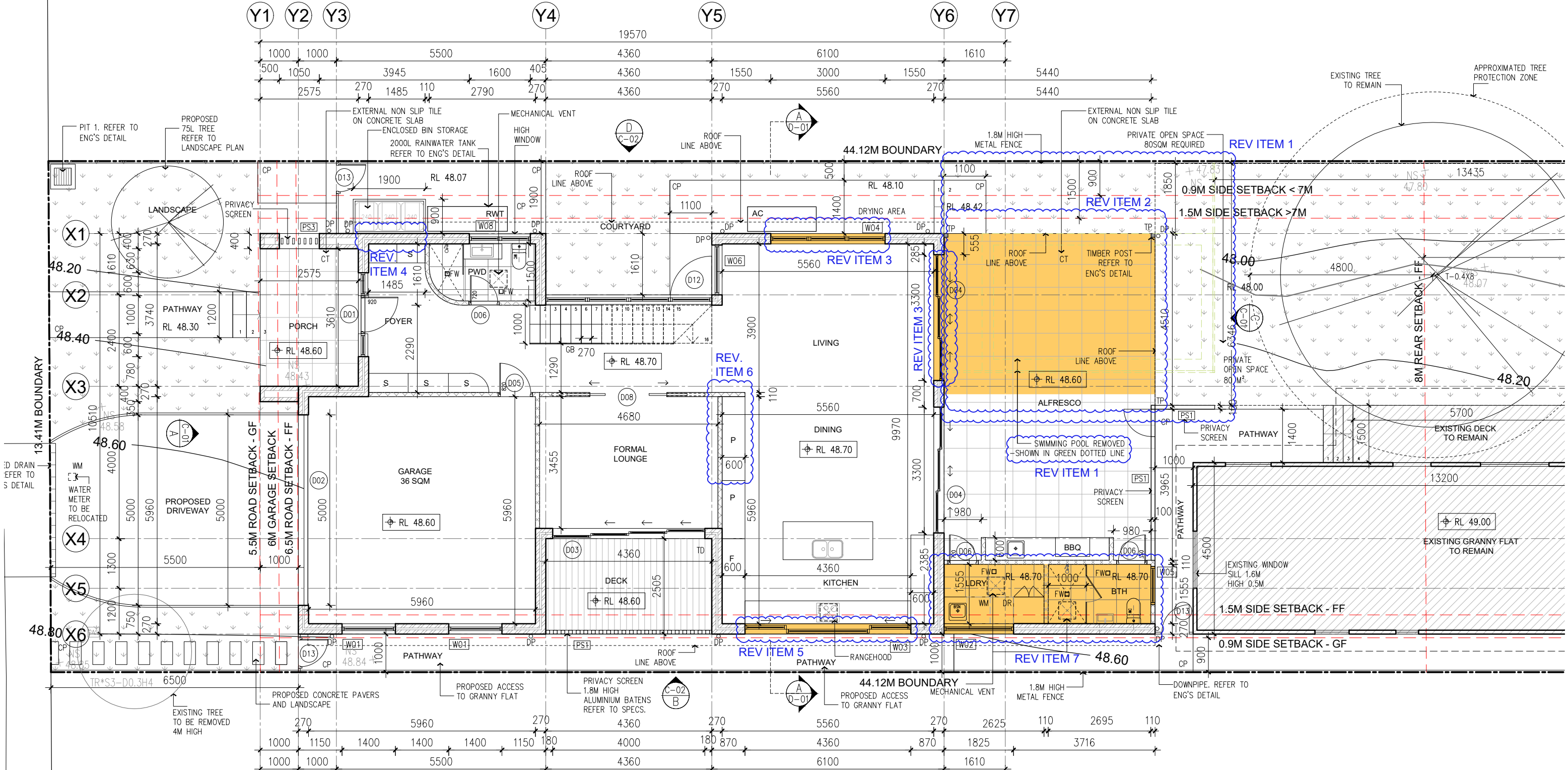
FF OUTDOOR AREA (MAX. 12 SQM) =
REAR BALCONY + FRONT BALCONY =
8 + 4 = 12 SQM

FRONT LANDSCAPE AREA =
45% X 87.5 =39.37 SQM REQUIRED
PROPOSED = 42.1 SQM

PRIVATE OPEN SPACE = 80 SQM

S4.55 MODIFICATION





01 GROUND FLOOR PLAN
1:100 @A3



SITE AREA: GFA:	588.1 SQM	GROUND FLOOR 146.20 SQM	FF OUTDOOR AREA (MAX. 12 SQM) = REAR BALCONY + FRONT BALCONY = 8 + 4 = 12 SQM
	0.5:1 = 294 SQM	FIRST FLOOR 105.65 SQM	
	294 - 60 (GRANNY FLAT) = 234 SQM (MAX. MAIN DWELLING)	TOTAL GROSS FLOOR AREA (MAIN DWELLING) GF + FF - GARAGE = 146.20 + 105.65 - 18 = 233.85 SQM (234SQM MAX)	FRONT LANDSCAPE AREA = 45% X 87.5 = MIN. 39.37 SQM REQUIRED PROPOSED = 42 SQM
			PRIVATE OPEN SPACE = 80 SQM

LEGEND	
	NEW WORKS FOR S4.55 MOD.
WALL TYPES	
	CAVITY BRICK 270MM
	BRICK VENEER 250MM
	EXTERNAL STUD WALL WITH CLADDING TO EXTERNAL FACE 155MM
	TIMBER STUD WALL 110MM
	SINGLE SKIN BRICK WALL 110MM

NOTE: CEILING FANS HAVE BEEN NOMINATED WHEN PERFORMED THE NATHERS CALCULATIONS AND EACH CERTIFICATION HAS BEEN ISSUED ACCORDINGLY. ENSURE THAT THE INSTALLATIONS ARE CARRIED OUT.

S4.55 MODIFICATION
1:100 @ A3

Architecture
Interior Design
Project Management

BOSS DESIGN PTY LTD
ARCHITECT: WOON KANG
REGISTRATION NO: 8353
233-236 PENNANT HILLS RD, THORNLEIGH NSW 2120

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JUN 2023	-	CONCEPT DESIGN	FL	WK
AUG 2023	-	DEVELOPMENT APPLICATION	FL	WK
NOV 2023	A	DEVELOPMENT APPLICATION	FL	WK
FEB 2025	A	S4.55 MODIFICATION TO COUNCIL	FL	WK

NOTE (REV A FOR S4.55 MODIFICATION) - REVISION ITEMS:

- SWIMMING POOL AND POOL SAIL SHADE REMOVED.
- REAR AWNING AND ALFRESCO EXTENDED TO GL X1
- LIVING ROOM - NEW WINDOW W04. WINDOW W05 REPLACED WITH DOOR D04.
- FOYER - WINDOW W02 REMOVED
- KITCHEN - REVISED WINDOW W03 (WIDTH INCREASED).
- LAUNDRY REMOVED FROM KITCHEN
- REVISED OUTDOOR-BATHROOM LAYOUT WITH LAUNDRY RELOCATED BEHIND BBQ.

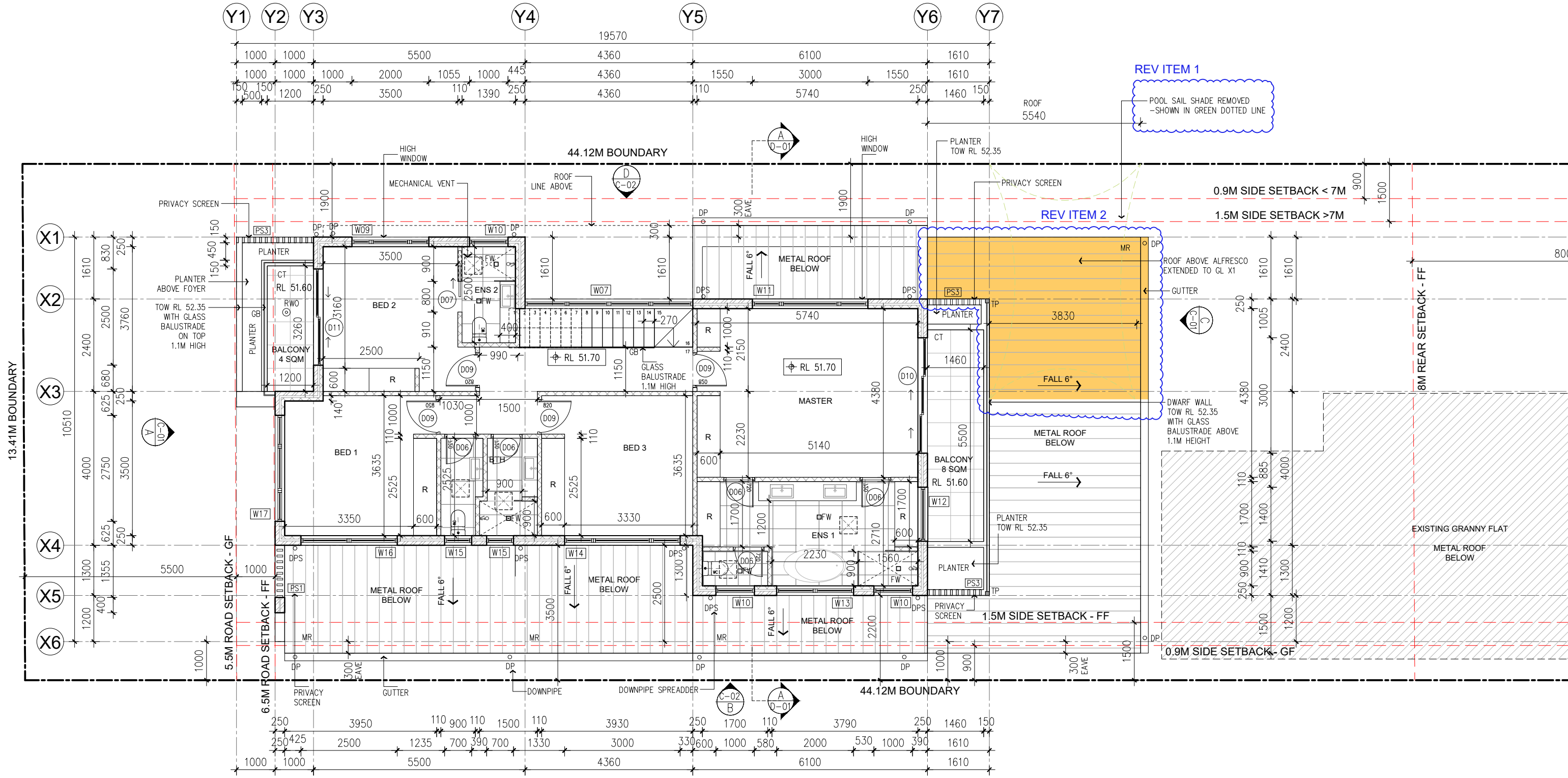
PROJECT
9 WILKINS STREET
YAGOONA
NSW 2199

CLIENT
CHARLIE YOUNAN

PROJECT NO
2023-105

GROUND FLOOR PLAN

B-01



01 FIRST FLOOR PLAN
1:100 @A3

SITE AREA:	588.1 SQM	GROUND FLOOR	146.20 SQM	FF OUTDOOR AREA (MAX. 12 SQM) = REAR BALCONY + FRONT BALCONY = 8 + 4 = 12 SQM
	0.5:1 = 294 SQM		FIRST FLOOR	
GFA:	294 - 60 (GRANNY FLAT) = 234 SQM (MAX. MAIN DWELLING)		105.65 SQM	
		TOTAL GROSS FLOOR AREA (MAIN DWELLING)		FRONT LANDSCAPE AREA = 45% X 87.5 = MIN. 39.37 SQM REQUIRED PROPOSED = 42 SQM
		GF + FF - GARAGE = 146.20 + 105.65 - 18 = 233.85 SQM (234SQM MAX)		PRIVATE OPEN SPACE = 80 SQM

LEGEND

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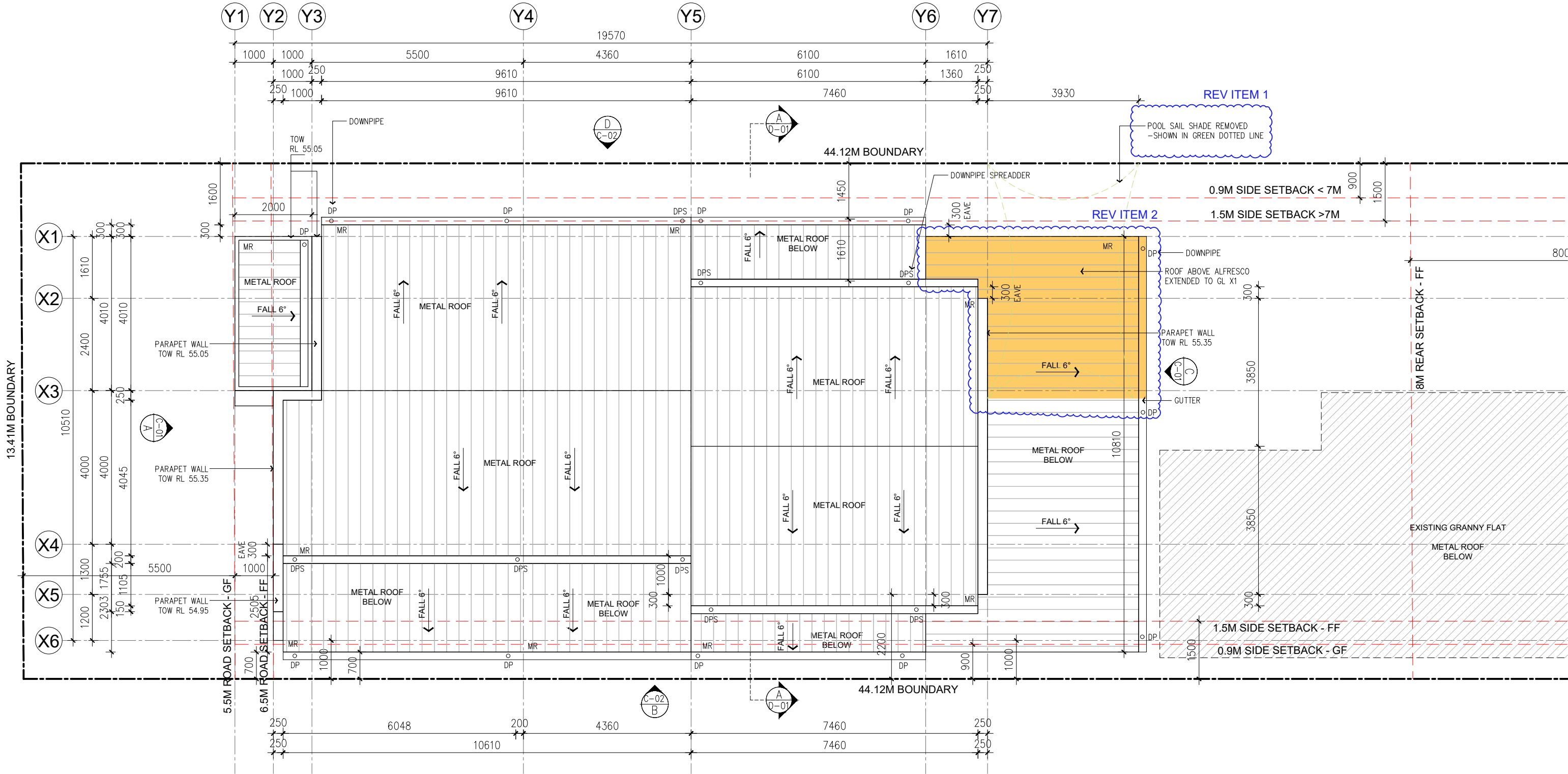
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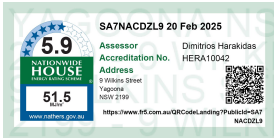
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01 ROOF PLAN
1:100 @A3



bossdesign

Architecture
Interior Design
Project Management

BOSS DESIGN PTY LTD
ARCHITECT: WOON KANG
REGISTRATION NO. 8333
283-285 PENNANT HILLS RD, THORNLEIGH NSW 2120

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ROOF PLAN

B-03

LEYEND

NEW WORKS FOR S4.55 MOD.

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BRICK VENEER 250MM

EXTERNAL STUD WALL
WITH CLADDING TO
EXTERNAL FACE 155MM

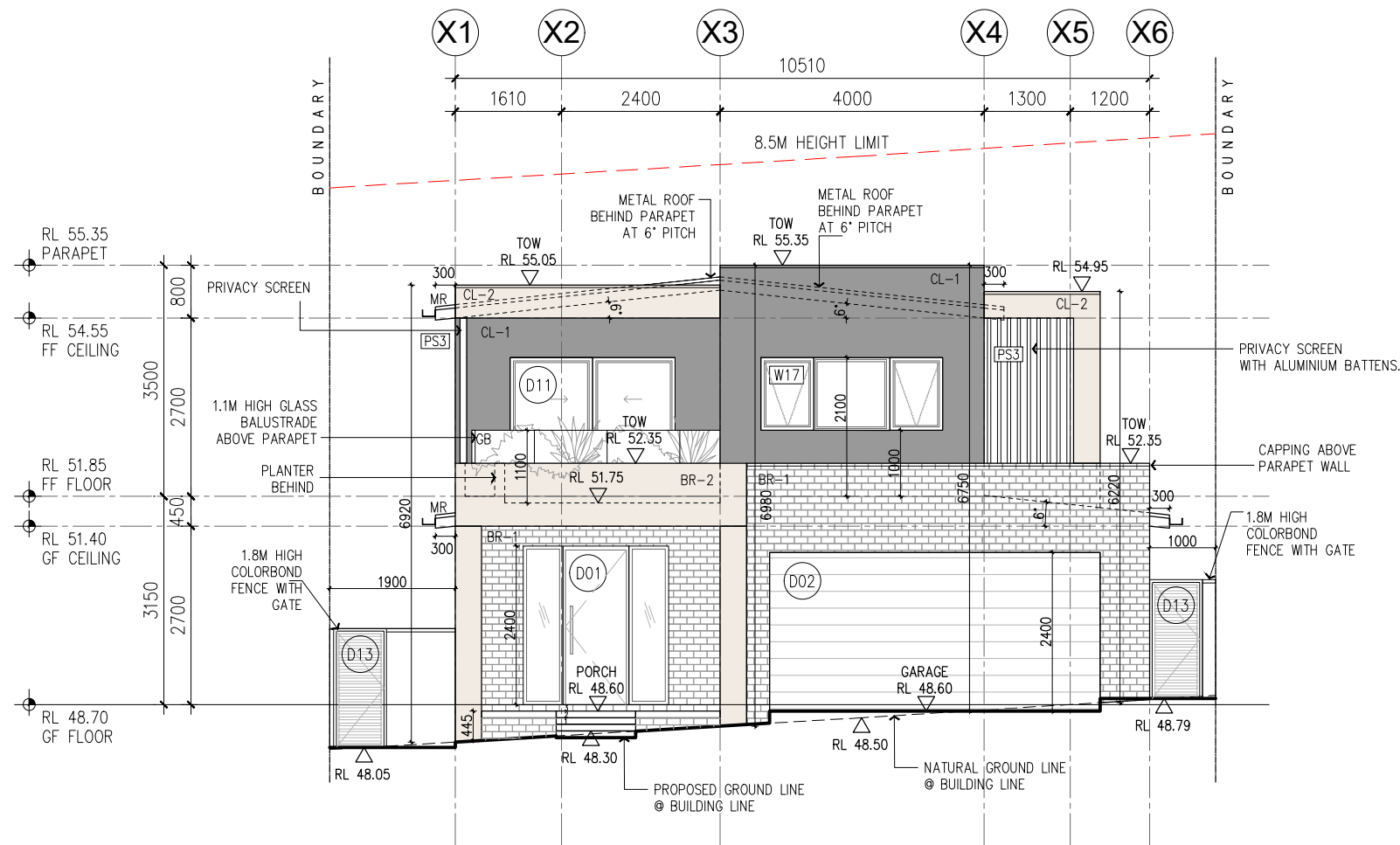
TIMBER STUD WALL 110MM

SINGLE SKIN BRICK WALL 110MM

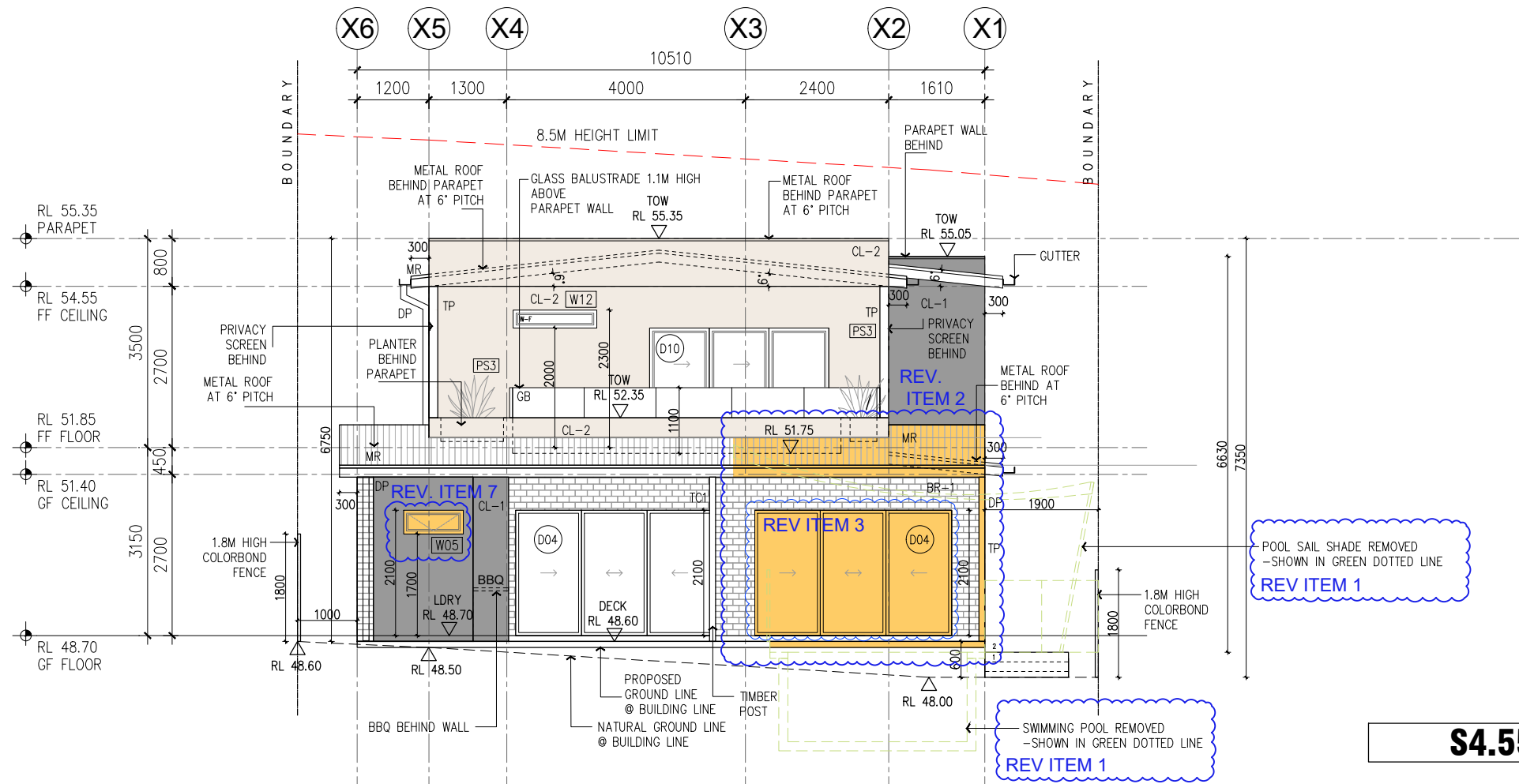
S4.55 MODIFICATION

1:100 @ A3

01
-
ELEVATION A
1:100 @A3



02
-
ELEVATION C
1:100 @A3



LEYEND	
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bossd_{esign}

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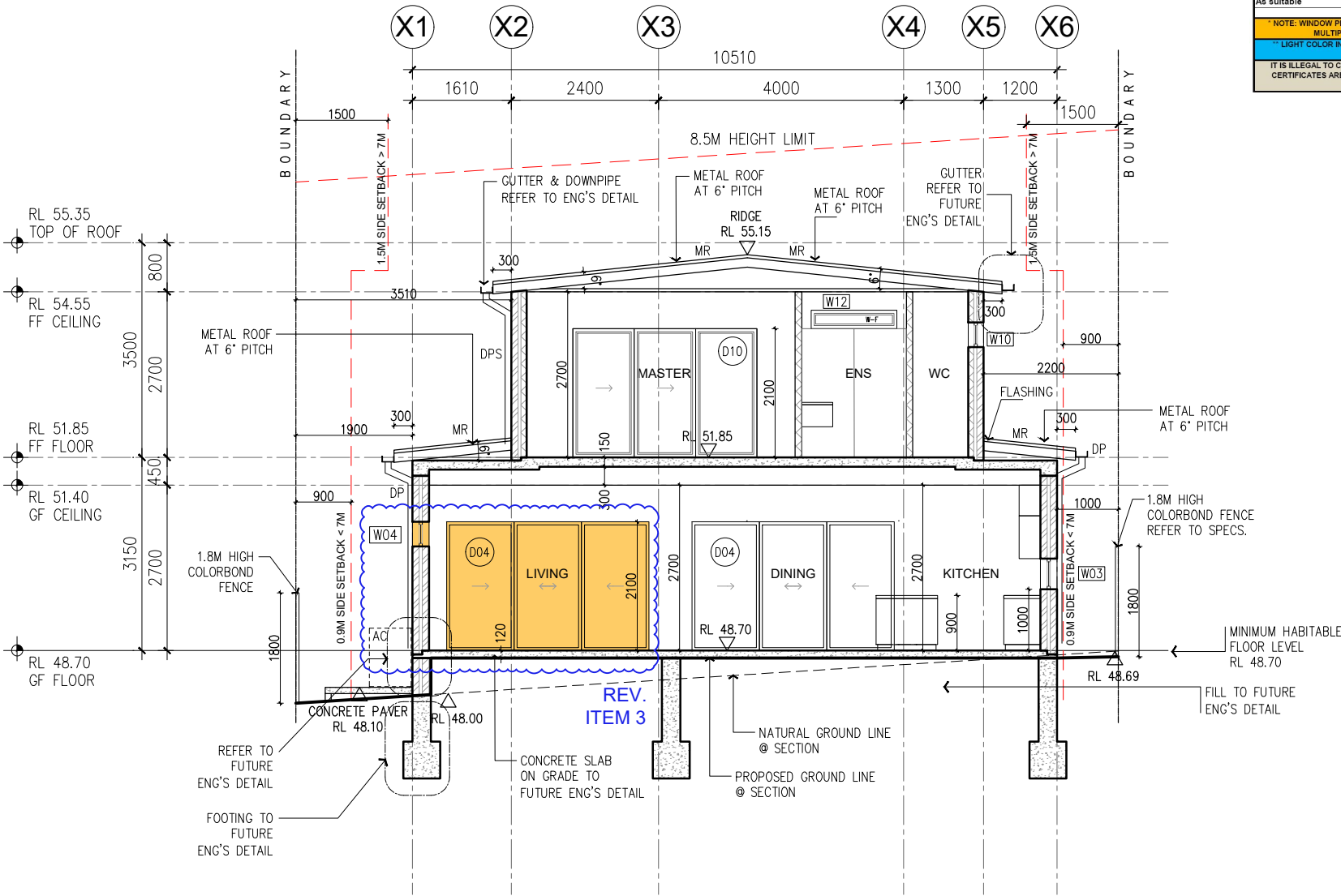
**ELEVATIONS A&C
WEST AND EAST ELEVATIONS**

C-01

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Energy Commitments			
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 3 star (average zone).		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 3 star (average zone).		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 3 star (average zone).		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 3 star (average zone).		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: - at least 4 of the bedrooms / study; - at least 1 of the living / dining rooms; - the kitchen; - all bathrooms/toilets; - the laundry; - all hallways;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	



Project Specification	Form # AE0.5		Australian Energy Efficiency Consulting E:info@aenec.com.au P:0416 316 204		 www.aenec.com.au
	Project Address: 9 Wilkins Street, Yagoona				
	BASIX CERTIFICATION NUMBER: 14073155_02				
This Project Specification outlines ONLY some of the NatHERS commitments. For the full list of specifications and construction allocations, you must refer to the corresponding NatHERS document that has been provided.					
External Walls Specification:					
Type	Material	Added Insulation	Colour**	Detail	
Masonry	Brick Cavity	R1.90*	See schedule	As per drawings	
*Prime Panel External wall insulation 40mm = R1.90 declared product value has been nominated (primepanel.com.au)					
Internal Walls specification:					
Type	Material	Added Insulation	Colour**	Detail	
Framed	Plasterboard	Nil	-	As per drawings - for cavity sliders only	
Masonry	Brick	R1.50	-	Adjacent to garage only	
Masonry	Brick	Nil	-	Everywhere else	
Roof Specification:					
Type	Material	Added Insulation	Colour**	Detail	
Framed	Metal	Sarking	Medium	As per drawings - below roof sheeting (roof space)	
Masonry	Concrete	R2.00	Medium	Ground floor ceiling with roof above - except garage	
Floors/Ceilings Specification:					
Type	Material	Added Insulation	Covering	Detail	
Masonry	Concrete	Nil	Tiles	Slab on ground	
Masonry	Concrete	Nil	Timber	Above dwelling - for bedrooms only	
Masonry	Concrete	Nil	Tiles	Above dwelling - everywhere else	
Framed	Plasterboard	R4.00	Nil	Ceilings below roof spaces	
Window Specification*					
Frame material	Glazing	U Value	SHGC	Detail	
As suitable	As suitable	See NATHERS	See NATHERS	Refer to NATHERS for more info	
* NOTE: WINDOW PERFORMANCE IS DETERMINED BY U-VALUE AND SHGC NOT THE SYSTEM DESCRIPTION. THESE PERFORMANCE FIGURES CAN BE ACHIEVED BY MULTIPLE WINDOW/DOOR SYSTEMS AND THEIR DESCRIPTION IN THE NATHERS IS SECONDARY. FOCUS OF THE PERFORMANCE VALUES.					
** LIGHT COLOR INSTALLATIONS HAVE SOLAR ABSORBANCE BEING LOWER THAN 0.475. MEDIUM COLOR INSTALLATIONS HAVE SOLAR ABSORBANCE BEING BETWEEN 0.475 AND 0.700. DARK COLOR INSTALLATIONS HAVE SOLAR ABSORBANCE BEING HIGHER THAN 0.701.					
IT IS ILLEGAL TO COPY/PASTE NATHERS STAMPS FROM STAMPED DRAWINGS TO ANOTHER DRAWING SET, EVEN IF THIS IS FOR THE SAME PROJECT. NATHERS CERTIFICATES ARE ISSUED FOR THE SPECIFIC DRAWING VERSION AND DATE OF ISSUE AND ARE VALID ONLY FOR THIS PARTICULAR VERSION. IF YOU UPDATE DRAWINGS, YOU MUST UPDATE THE NATHERS CERTIFICATE AS WELL.					

CAUTION – ALL OF THE ITEMS BELOW MUST BE ADHERED TO FOR NATHERS TO BE VALID

NOTES:

- ALL DOWNLIGHTS TO BE:
 - APPROVED NON-VENTILATED
 - WITH FIRE-RATED COVER/SHIELD TO ALLOW CONTINUOUS INSULATION LED TYPE. IF HALOGEN LIGHT ARE TO BE INSTALLED THIS CERTIFICATION IS NOT VALID
- ALL VENTS AND WALL OPENINGS INSTALLED TO BE "THE SEALED" TYPE
- ALL INSULATION IS TO BE INSTALLED IN ACCORDANCE NCC PART 3.12.1.1
 - CREATION OF CONTINUOUS THERMAL BARRIER
 - COMPLIANCE WITH AS4859
 - MAINTAINING THICKNESS OF BULK INSULATION AND AIR GAPS FOR REFLECTIVE INSULATION
- BUILDING SEALING AS PER NCC PART 3.12.3
 - WEATHER SEALS AND DRAFT EXCLUDERS
 - DRAFT STOPPER CAPS
- SERVICES AS PER NCC PART 3.12.5
 - INSULATION OF SERVICES, PIPING AND DUCTWORK

LEYEND

NEW WORKS FOR S4.55 MOD.



bossd_osign

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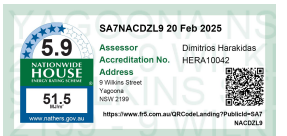
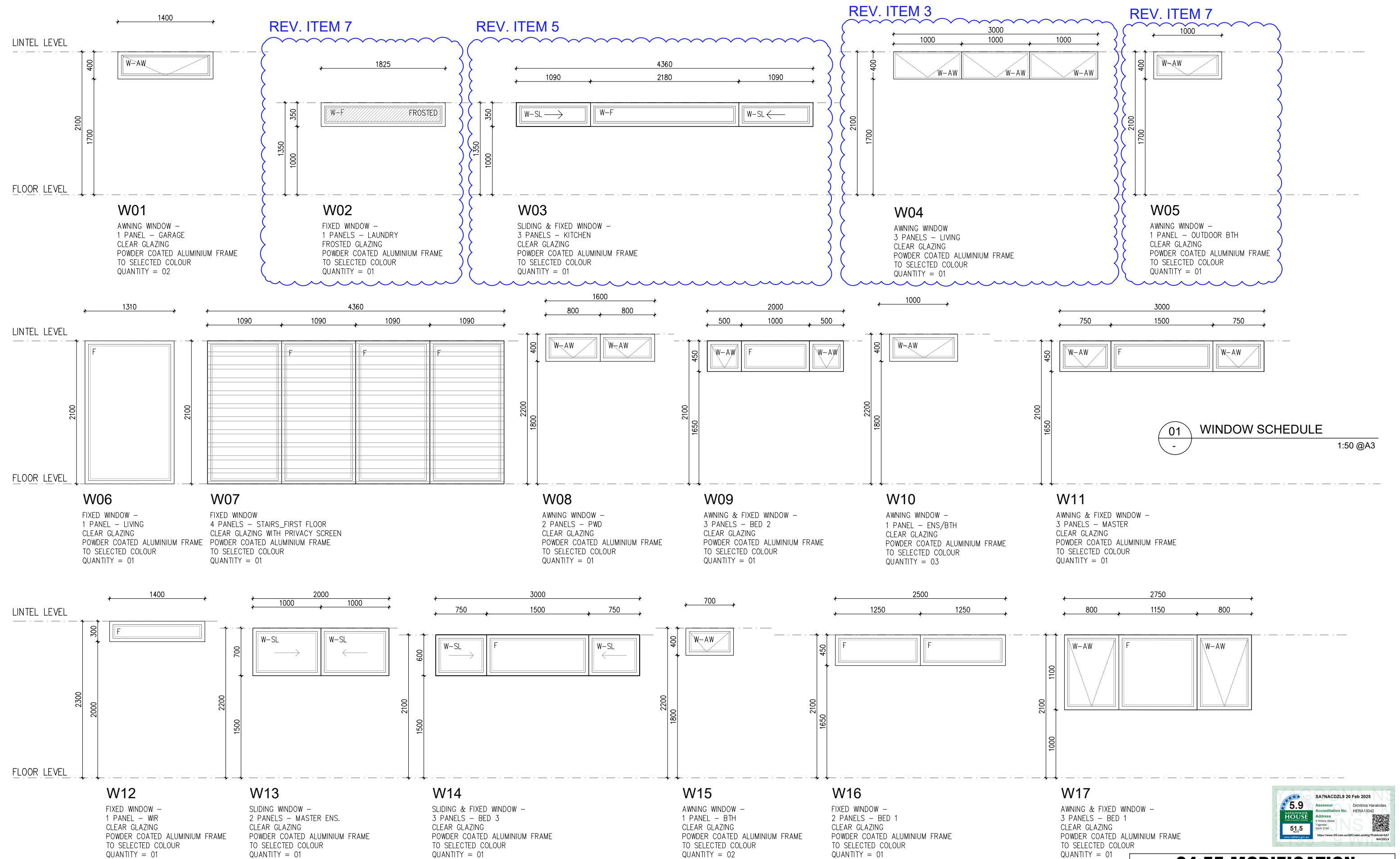
PROJECT NO
2023-105

SECTION A-A

1:100 @ A3

D-01

S4.55 MODIFICATION



S4.55 MODIFICATION

1:50 @ A3

bossdesign

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Interior Design

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BOSS DESIGN PTY LTD

ARCHITECT: WOON KANG

REGISTRATION NO: 8353

293-299 PENNANT HILLS RD, THORNLEIGH NSW 2120

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6. LAUNDRY REMOVED FROM KITCHEN

7. REVISED OUTDOOR–BATHROOM LAYOUT WITH LAUNDRY RELOCATED BEHIND BBQ.

REFER TO CORRESPONDING NATHERS CERTIFICATE(S) FOR CORRECT WINDOW SPECIFICATIONS / ALLOCATIONS (SEE AE.05 FORM FOR DETAIL)

PROJECT

9 WILKINS STREET

YAGDOONA

NSW 2199

CLIENT

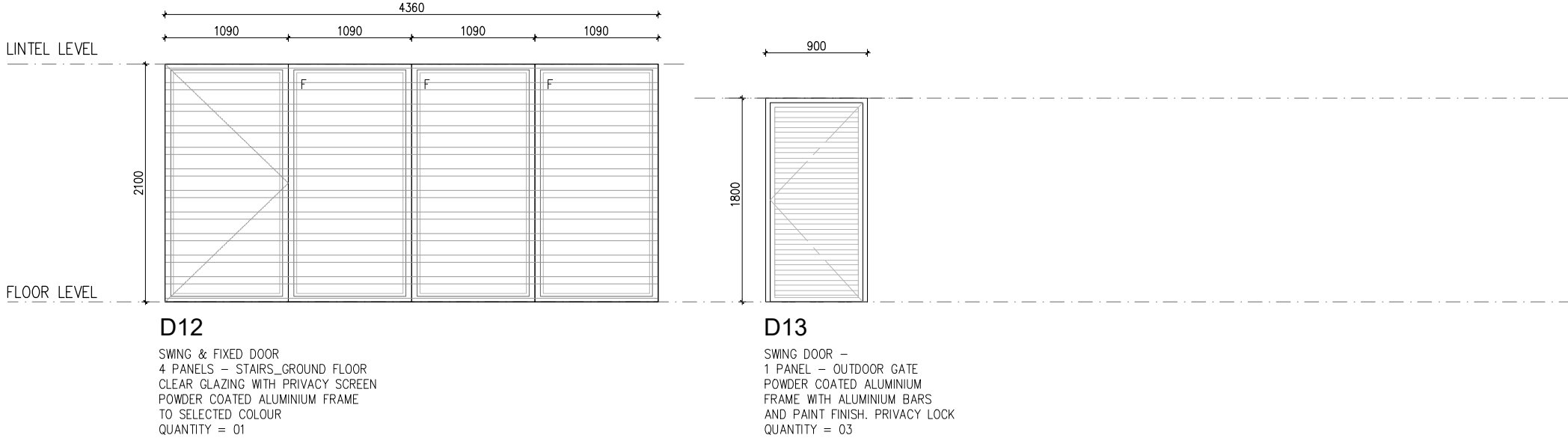
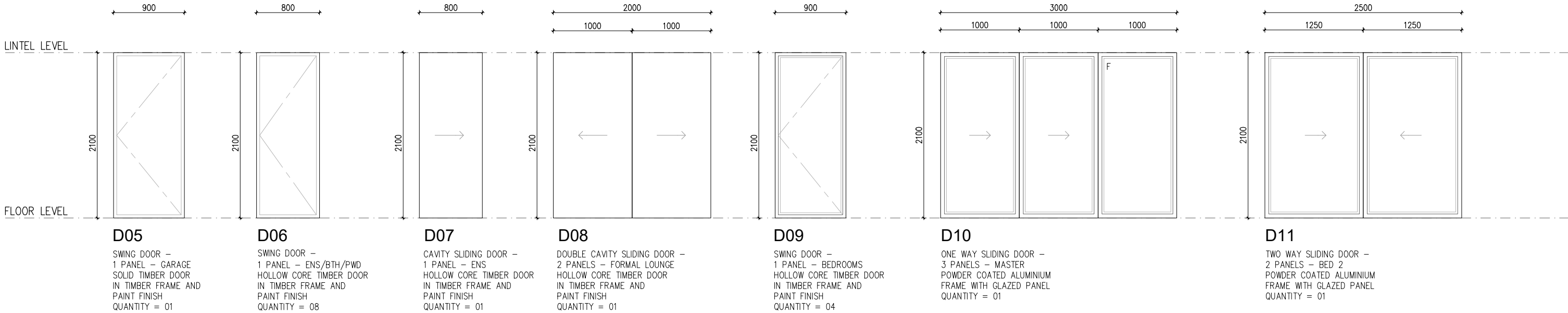
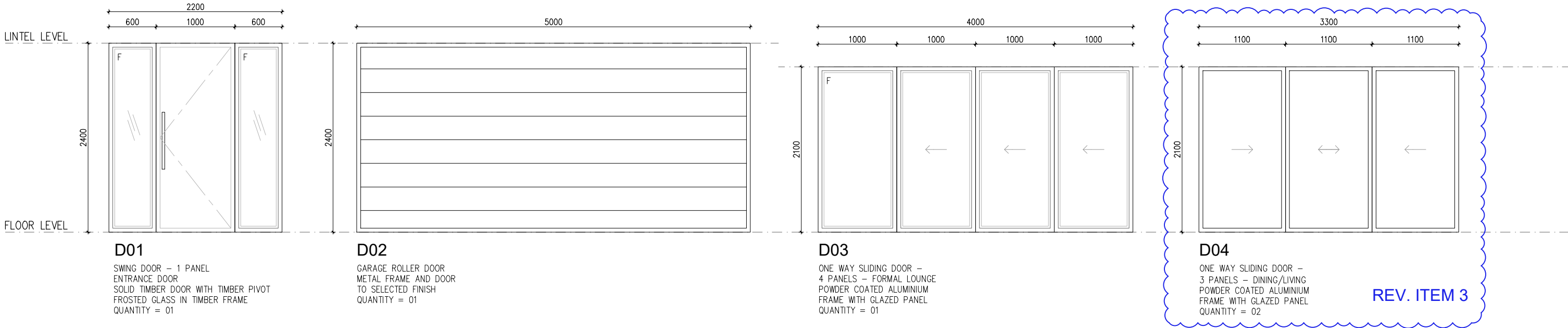
CHARLIE YOUNAN

PROJECT NO

2023-105

WINDOW SCHEDULE

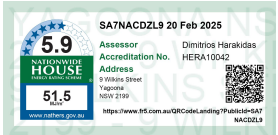
G-01



01

DOOR SCHEDULE

1:50 @A3



S4.55 MODIFICATION

DATE	REV	DESCRIPTION	DRAWN BY	CHECKED BY
JUN 2023	—	CONCEPT DESIGN	FL	WK
AUG 2023	—	DEVELOPMENT APPLICATION	FL	WK
NOV 2023	A	DEVELOPMENT APPLICATION	FL	WK
FEB 2025	A	S4.55 MODIFICATION TO COUNCIL	FL	WK

REFER TO CORRESPONDING NATHERS CERTIFICATE(S) FOR CORRECT WINDOW SPECIFICATIONS / ALLOCATIONS (SEE AE.05 FORM FOR DETAIL)

NOTE (REV A FOR S4.55 MODIFICATION) – REVISION ITEMS:

- SWIMMING POOL AND POOL SAIL SHADE REMOVED.
- REAR AWNING AND ALFRESCO EXTENDED TO GL X1
- LIVING ROOM – NEW WINDOW W04. WINDOW W05 REPLACED WITH DOOR D04.
- FOYER – WINDOW W10 REMOVED
- KITCHEN – REVISED WINDOW W03 (WIDTH INCREASED).
- LAUNDRY REMOVED FROM KITCHEN
- REVISED OUTDOOR–BATHROOM LAYOUT WITH LAUNDRY RELOCATED BEHIND BBQ.